



Architectural Review Process and Design Guidelines

Brow Wood is a master-planned community for active adults who have an appetite for living. The community enjoys a beautiful mountain top setting and a traditional town plan offering a variety of home choices and amenities with a unique sense of place and community.

The *Western Brow* features both brow and brow-view lots, nestled along a meandering mountain road. This winding lane gives all residents access to planned amenities such as a brow-front pavilion with commanding views, a pond with relaxing waterfall and community garden. The *Eastern Woodland* will be a “front porch” neighborhood of cottage homes and townhomes with streets designed for walkability and integrated green spaces. These homes will be connected to park spaces and future amenities including , retail areas, independent and assisted living.

The Brow Wood Board of Directors has established through the “Declaration of Covenants & Restrictions for Brow Wood” an architectural review process that is intended to assist residents and builders in constructing homes with the high-quality character and sense of place that is intended by the Board and Architectural Review Committee (ARC); and, consistent with the relaxed, but upscale, Lookout Mountain vernacular.

To assist in its duties the Board and Architectural Review Committee have retained the services of a Review Architect. Under the Architectural Review Process the Committee requires that all Plans for new construction be submitted to the Review Architect. The Review Architect on behalf of the Committee may approve or reject proposed plans at his discretion.

In reviewing specific plans the Review Architect will consider, (1) the location, size and shape of the lot, (2) compatibility with the immediate neighborhood and the Brow Wood community, (3) compliance with the “Declaration of Covenants & Restrictions for Brow Wood”, and (4) compliance with the Design Guidelines. Review and approval of the plans and specifications by the Architectural Review Committee and Review Architect is for the mutual benefit of all Owners and is not intended to be, and shall not be construed as, an approval or certification that the plans and specifications are technically sound or correct from an engineering or architectural viewpoint. Each Owner shall be individually responsible for the technical aspect of the plans and specifications.

The Architectural Review Process

All home plans will be reviewed by a registered architect to maximize homeowner value and assure compliance with the “Design Guidelines” that follow. This process will consist of the following:

Conceptual Design Submittal and Approval
Final Plan Submittal and Approval
Final Landscape Plan Submittal and Approval
Architectural Review Committee Approval

The Architectural Review Process consists of two plan submittals, one at the Conceptual Design phase and then Final Design Submittal.

1. Conceptual Design Submittal - the purpose of this submittal is to illustrate design intent early in the design process and should consist of the following:
 - a. Conceptual Site plan/sketch at a minimum scale of 1" = 200' showing:
 - i. Existing contours, lot lines, setbacks and street frontage.
 - ii. Building footprint and any proposed accessory structures or major hardscape items such as driveways, walks, retaining walls, ponds, pools, etc.
 - b. Conceptual floor plans/sketches for all levels either at a minimum scale of 1/16" = 1'-0" and/or approximate individual room sizes and overall building dimensions noted.
 - c. Indicate approximate area (gross square feet) of each floor level.
 - d. Exterior elevations of the front and back, representative of all four sides and with finish materials indicated as noted on the application.
 - e. Applicant shall submit:
 - i. Two (2) copies of required documents listed above. Electronic submission of plans in pdf, jpeg or tiff format is acceptable.
 - ii. One (1) copy of the completed Design Review Application.
 - iii. Application and required documents shall be submitted to:
Brow Wood Architectural Review Committee
c/o Stewart & Connors Architects
3731 Latrobe Drive, Suite 100
Charlotte, North Carolina 28211
jstewart@sc-architects.com
 - f. Conceptual Design Review will be completed within 30 days of submission. Upon completion of review the applicant will be invoiced for the Plan Review Fee of Seven Hundred and Fifty Dollars (\$750.00). Payment is due within 30 days of receipt.
2. Final Design Submittal – shall be submitted at least thirty (30) days prior to the planned construction start date and consist of:
 - a. Final Architectural Documents including:
 - i. Floor plans for all levels at a minimum scale of 1/8" = 1'-0".
 - ii. Exterior elevations of all four sides with finish materials indicated and noted.
 - iii. Typical Wall sections at 3/4" = 1'-0" (optional).
 - iv. Exterior details including:
 1. Doors and windows
 2. Eaves, porches, rakes, overhangs, etc.
 3. Columns, pilasters, chimneys, louvers, shutters, etc.
 4. Exterior lighting
 5. Mailbox
 - v. Preliminary color and material samples.
 - b. Final Site Plan at a minimum of 1" = 20' and including:
 - i. Building footprint with overall building and setback dimensions.
 - ii. Location of air conditioning and condensing units.
 - iii. Driveway location
 - iv. Accessory structures and all site improvements such as driveways, walks, retaining walls, ponds, etc.
 - v. Existing and proposed grades
 - vi. Site drainage

- c. Applicant shall submit:
 - i. Two (2) copies of required documents listed above. Electronic submission of plans in pdf, jpeg or tiff format is acceptable.
 - ii. One (1) copy of the completed or revised Design Review Application.
 - iii. Submittal will not be reviewed without prior payment of Plan Review Fee of Seven Hundred and Fifty Dollars (\$750.00)
 - iv. Application and required documents shall be submitted to:

Brow Wood Architectural Review Committee
c/o Stewart & Connors Architects
3731 Latrobe Drive, Suite 100
Charlotte, North Carolina 28211
jstewart@sc-architects.com
 - d. Final Design Review will be completed within 30 days of submission.
- 3. Landscape Plan – the landscape plan may be submitted with the Final Design Submittal or within sixty (60) days after completion of the home’s foundation.. The applicant will submit for review a Final Landscape Plan at a minimum of 1” = 20’ and including:
 - a. Existing trees to be saved
 - b. Any planned tree or hedge buffering
 - c. Lawns
 - d. Ornamental planting areas including gardens and foundation planting
 - e. Exterior lighting
 - f. Proposed planting and hardscape material list.
 - g. Driveway and sidewalk locations and materials
- 4. Final Approval will not be granted until all components of the Final Design Submittal have been submitted, reviewed and any design issues have been resolved to the sole satisfaction of the Architectural Review Committee.

Design Guidelines

Regulatory: All applicable Federal, State and Local statutes, rules and regulations and the provisions of the “Declaration of Covenants & Restrictions” must be complied with. Owners are encouraged to understand the principles of “universal design” (greater accessibility to persons with physical limitations) and “sustainability” (minimize environmental impact) and utilize these principles in their design to the extent possible. A “Universal/Sustainable Checklist” and links to additional resources are available on the Brow Wood Homeowners’ Association website (www.browwood.net).

Site:

- 1. Site planning

Care should be taken to preserve to the greatest degree possible the natural contour, drainage courses and vegetation on your lot. Structures should be located and configured to be visually harmonious with the terrain and vegetation of the surrounding property and improvements thereon; and, insure that plans for landscaping provide visually pleasing settings for structures on the same lot and on adjoining or nearby lots.
- 2. Building Setbacks
 - a. Building setbacks are measured from the property line to the exterior face of wall or any structure such as a porch column. Roof overhangs may extend into the setback a maximum of 2’-0”.
 - b. Service yards and driveways may extend into side yard setbacks a maximum of 6’-0” for Brow lots and 8’-0” for Brow View lots.

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|-------------------|--------------------|----------------|
| c. Setbacks: | Brow Lots | Brow View Lots |
| Front | 25 ft. Min. | 25 ft. |
| Side ^g | 10 ft. Min. | 8 ft. Min. |
| Rear | 0 ft. ^d | 30 ft. Min. |
- d. Brow lot rear yard setbacks are at the discretion of the owner.
 - e. Alternate setbacks may be approved by the ARC in specific cases where strict adherence to these minimums may be burdensome.
 - f. Minimum Side yard building setbacks may be reduced 2 feet where lots are adjacent to open common space.

3. Fences and Exterior Walls or Piers

No fences or exterior walls shall exceed four (4) feet in height nor will be allowed on any Lot without the prior written consent of the Community Developer or the Architectural Review Committee. Wire or chain link fences are prohibited. No fences shall be constructed of any bright, shiny metal. All wood fences must be painted. All proposed fences must be submitted to the Community Developer or the Architectural Review Committee showing materials, design, height and location. No fences shall be allowed in front yards. Side fences may be permitted from the rear property line to the midpoint of the house.

Acceptable fences and exterior walls or piers are:

1. Wood with painted or opaque stain finish
2. Brick to match adjacent home if applicable and with color and pattern to be approved by ARC
3. Concrete block with a stucco finish painted in an approved color
4. Metal with painted or baked on finish
5. Natural or cultured stone to match adjacent home if applicable and with color and pattern to be approved by ARC
6. Retaining walls along the western brow shall be of an approved natural or cultured stone.

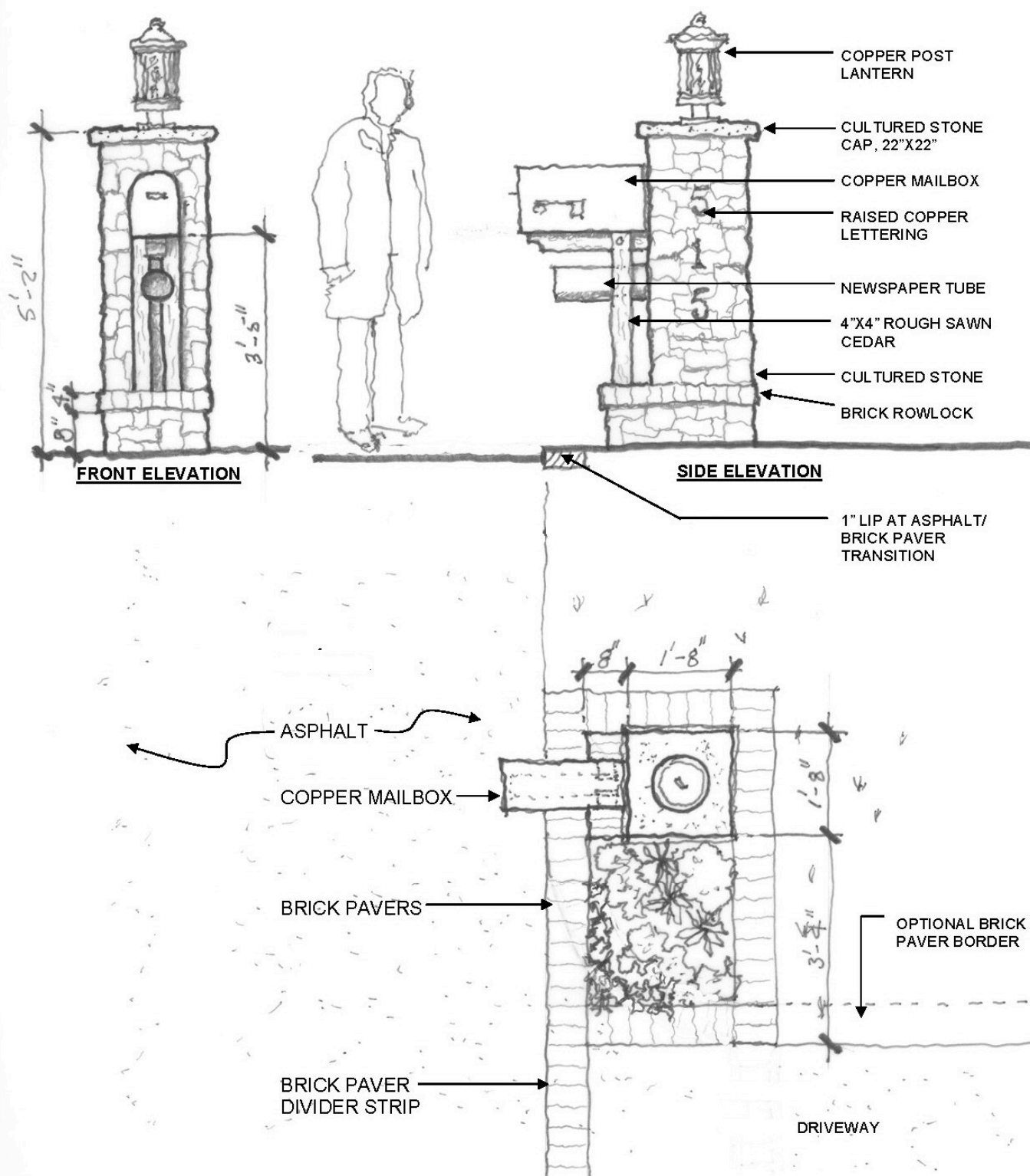


Figure 1 – Mailbox Concept Sketch

Though the drawing above shows a separate newspaper tube, it is suggested that a mailbox with integrated newspaper tube be used instead. The recommended unit is a Special Lite #SCC-2008 (Copper or Hand-rubbed Bronze) Classic Curbside Mailbox with Newspaper Tube (available from mailboxxpress.com, signaturehardware.com, and others).

4. Driveways

Each Home constructed upon a Brow View Lot or a Brow Lot must be served by a driveway constructed of asphalt, concrete, pavers or pea gravel with a brick paver divider strip at the street edge per Figure 1 – “Mailbox Concept Sketch”. Driveways constructed of pea gravel must have a hard edge of brick, stone, pavers or steel designed to retain pea gravel in the driveway. Care should be taken to minimize the impervious surface of the driveway and any auto court. The Owner will be responsible for providing a smooth driveway/street transition and for the repair of any damage to the street.

Details for driveway plans must be submitted with the Home plan. No driveway shall be constructed on any Lot nearer than one (1) foot to any Lot line except that Brow View homes, with the approval of the Architectural Review Committee, may share a driveway with an adjacent home. Where a Lot borders on more than one street, the Lot shall be entered from the secondary street. It shall be obligatory upon all Owners of Lots to construct or place any driveways, culverts, or other structures, or gradings, which are within the limits of any dedicated roadways, in strict accordance with the specifications therefore as set forth on the recorded subdivision plat, in order that the roads or streets, which may be affected by such placement or construction, may not be disqualified for acceptance into the road system of Dade County, Georgia.

5. Mailbox

Mailboxes must be constructed in a manner similar to Figure 1 – “Mailbox Concept Sketch”. Alternate designs responding to individual home designs and landscape conditions may be proposed but must include the following mandatory components:

1. A mailbox and newspaper tube constructed of copper or brass; or, a combination thereof. (see note accompanying Figure 1)
2. A post lantern constructed of copper or brass; or, a combination thereof; and, mounted with its base no higher than 6 inches above the supporting pillar.
3. A 5'-0" to 5'-8" high and minimum 1'-8" x 1'-8" pillar constructed of stone, cultured stone, brick; or, a combination thereof.
4. Minimum 5" high copper or brass lettering indicating street number.
5. Rough sawn cedar posts or brackets.

6. Service Yards

Each Home shall provide an area or areas on the rear or side yard of the Lot to accommodate air conditioner compressors, garbage cans, the electrical service entrance, fuel tanks or similar storage receptacles or other ancillary residential functions that by nature may present an unsightly appearance. Service areas shall be convenient to the utility services and screened from view by an enclosure that is an integral part of the site development plan, using materials, colors or landscaping that are harmonious with the home it serves.

7. Exterior Lighting

Each home shall provide post lighting as indicated in Figure 1 – “Mailbox Concept Sketch”. Plant lighting and landscape lighting is encouraged in moderation. Path lighting must be no taller than 3 feet mounting height and use no more than 20 watt lighting. Landscape light fixtures must be concealed by planting and concealed in daytime.

8. Landscaping.

A successful landscape plan begins with retaining as much of the existing contour and vegetation as possible; and, is composed of a number of elements that, with quality design and execution contribute to a unified marriage of the natural environment and man-made elements introduced to the site.

Perhaps the most important aspect of a successful landscape plan is the planting budget which is money well spent to increase the value and appeal of your new home. Landscape improvement is recommended to total at least three to five percent of total home costs and meet or exceed the minimum planting requirements as shown below.

Your landscape plan can be practical as well as attractive. On a wooded site, protecting and planting trees decreases temperature impacts of seasonal extremes, while at the same time providing privacy and beauty.

The planting plan shall break up the foundation of the building, buffer driveways and parking areas adjacent to property lines, and provide cover for areas disturbed during construction. Plants for screening should be appropriate and of sufficient size and spacing to ensure an adequate buffer within a year or two.

The natural landscaping approach should concentrate your planting efforts adjacent to the house, especially near the entry. The more ornamental plants, if used correctly, will provide a transition from the natural character of the site to the man-made structure of the home. The ground cover should begin this transition, which should progress to larger shrubs closer to the house. For maximum appeal, try to mix textures and color, but do keep the plan simple. A better effect can be achieved from using quantities of a few species rather than a few plants each of many species. Straight line planting is discouraged – planting should achieve a staggered, grouped effect as if grown naturally.

When possible, lot owners are encouraged to communicate and coordinate landscaping plans with adjacent lot owners to create a more attractive and unified appearance.

The landscape plan should also include provisions for rainwater run-off which should be directed to the brow or the street swale and not to an adjacent lot.

a. Minimum Planting Requirements

Tree planting requirements below are in addition to one (1) street tree provided per lot by the Homeowner. Street trees shall be planted with their centers located to not interfere with the drainage swale, approximately eight to ten feet from the edge of the street; and, no closer than 40 feet on center to a neighboring street tree. All street trees shall be American Princeton , minimum size, B & B, 8 ft to 10ft. Existing trees retained on site and surviving through one year after completion of construction will count toward the minimum required planting. Care should be taken to place new trees to not interfere with view corridors from adjacent lots.

i. Front Yard:

1. Brow Lots:

- a. 2 Trees, minimum size, B (bagged) & B (balled), 8'-10'
- b. 15 shrubs, minimum size 3 gallons

2. Brow View and Woodland Lots:

- a. 1 Tree, minimum size, B & B, 8'-10'
- b. 10 shrubs, minimum size 3 gallons

ii. Side Yard:

1. Brow Lots:

- a. 1 Tree, minimum size, B & B, 8'-10'
- b. 5 shrubs, minimum size 3 gallons

2. Brow View and Woodland Lots:

- a. 1 Tree, minimum size, B & B, 8' – 10'
- b. 5 shrubs, minimum size 3 gallons

- iii. Rear Yard:
 - 1. Brow Lots:
 - a. 3 Trees, minimum size, B & B, 8'-10'
 - b. 10 shrubs, minimum size 3 gallons
 - 2. Brow View and Woodland Lots:
 - a. 2 Trees, minimum size, B & B, 8' – 10'
 - b. 5 shrubs, minimum size 3 gallons
 - iv. Ground Cover: With the exception of the required planting beds, the side yard and the front yard must be sodded. In the case of the front yard, it must be sodded to the edge of the adjacent pavement in the street. Brow View lots should have a substantial portion of the rear yard either sodded or maintained as naturally wooded with the remainder used for planting beds.
 - v. Planting beds: A minimum of one planting bed in the front yard to incorporate at least one (1) tree and six (6) shrubs.
 - vi. Screening plants are to be in addition to minimum requirements and must be 3'0" high at planting. Minimum five (5) shrubs.
 - vii. Trees: Unless otherwise specified, all trees must be at least eight feet (8') feet to ten feet (10') tall with deciduous trees having a caliper of three-inches (3") or more.
 - b. All plants shall be in accordance with American Association of Nurserymen's (AAN) latest edition of American Standard for Nursery Stock.
 - c. Right to Reject- The ARC reserves the right to reject any unsuitable plant material within fifteen (15) days following installation.
 - d. Care of specimen Trees
 - i. All existing specimen trees, as designated by the ARC, will be protected from damage during construction
 - ii. Batter boards will be erected and maintained around each tree so designated by the ASC.
 - iii. Excavations and installation of underground utilities will be performed in such a manner as to avoid damaging the root system of specimen trees.
 - iv. If, in the judgment of the Architectural Review Committee, a specimen tree is damaged or destroyed due to carelessness or avoidable activities on the part of the owner or contractor, the ARC may require the replacement of the tree with a new specimen tree (or other tree or shrub as the ARC may determine).
9. Adjoining Properties During Construction
- Side and rear property lines shall be staked and marked by a registered land surveyor, and maintained for the duration of the construction project. All materials must be kept and stored within the confines of each individual lot or, with permission, on a undeveloped nearby site. All vehicles, both deliveries and workman's must operate within the confines of the lot or the public street and shall not cross any of the adjacent properties.
10. Drainage Swale
- The swale in front of each property is owned by the Property Owners Association and is not considered part of the owner's property. One culvert shall be installed at the driveway entrance of each property and this alone shall be the only entrance to the property during construction. This requirement does not preclude an owner from proposing semi-circular or U-shaped driveways with two access points, although this driveway arrangement is discouraged due to the inherent increase in impervious surfaces. All culverts must be constructed of reinforced concrete pipe (RCP). Unless otherwise prohibited by county, state, or federal storm water management regulations, additional concrete pipe may be installed within the swale if included on the approved landscape plan. A minimum of twenty (20) linear feet of the swale in front of each lot must be left exposed and as originally sloped for street drainage. Site plans must include stabilization of soils around culvert in an aesthetically pleasing manner. Materials may include stone or vegetation or a combination of elements. No vehicles will be permitted to use the swales for either ingress or egress to said lot. Both the lot owner and the contractor shall be

considered the responsible parties and will be billed for any damages that may occur through violations of this section. This will include, but is not limited to, replacement of damaged trees, removal of construction materials and restoration of all disturbed or damaged areas.

11. Irrigation

Each homeowner must install a central irrigation system that will irrigate the owner's lawn, beds, and swale area at the street side of the lot. This swale area of undeveloped lots is temporarily being irrigated by the Brow Wood community system. These temporary heads must be removed and securely capped prior to the start of any site/construction work.

12. Soil and Sedimentation Erosion Control

Silt fences must be installed as a part of the construction process along any lot line, where silt and sedimentation may occur off site. In addition silt fences must be installed along any drainage ditch or swale which may experience silt or sedimentation from the construction process. In addition, a silt fence must be placed at the mouth of the driveway culvert which connects the lot to the street. Stone, crushed rock, or some other ARC approved materials must be placed on the driveway connection to the street in order to prevent traffic from spreading silt onto the street.

13. Sewer

Each Brow Wood home shall include a working "STEP" sewer system designed in compliance with the attached design document, "BROW WOOD SUBDIVISION DADE COUNTY GEORGIA – PRESSURE SEWER DETAILS". Purchase of the specified underground tank, pump, and piping to the "street-side" connection box will be the responsibility of the lot owner.

Building:

1. Size

No single-family detached Home shall be erected on the Property unless it has the number of square feet of enclosed living area measured from the exterior walls, exclusive of open porches or screened porches, carports, garages or basements, set forth in this Section. For the purposes of this Section, stated square footage shall mean the minimum floor area required, and floor area shall mean the finished and heated living area contained within the residence, exclusive of open porches, garages, and steps. Any second floor construction must be approved by the Architectural Review Committee. The minimum number of square feet required is as follows:

Homes constructed on Brow Lots shall contain between twenty-four hundred (2,400) and thirty-six hundred (3,600) square feet, with a minimum of eighteen hundred (1,800) square feet and maximum of thirty-two hundred (3200) square feet on the first floor.

Homes constructed on Brow View Lots shall contain between sixteen hundred (1,600) and twenty-eight hundred (2,800) square feet, with a minimum of sixteen hundred (1,600) square feet and maximum of twenty-four hundred (2400) square feet on the first floor.

Basements shall not be included in the finished and heated living area. A basement is defined as having, at a minimum, 100% of one wall and at least 50% of two side walls below the finished grade of the primary floor.

2. Building Height, Massing and Form

No building may exceed two stories in height not including a "walk-out" basement as defined above. Where a "walk-out" basement is included, the top floor shall be integrated into the roof forms with gables and dormers to effectively create a 2 ½-story mass.

Building masses are to be composed of clusters of building forms fitted to the topography and natural surroundings, with stepped foundations and roof forms. One continuous roof form and ridgeline is to be discouraged and L, T or C-shape roof structures are encouraged, though care should be taken to not overly complicate the roof structure. Do not over articulate front elevations nor under-articulate side and rear elevations.

Rear and side elevations must be articulated with windows and at least one of the following: a horizontal or vertical change of material, offsets in the wall line (minimum 2'-0"), porches, decks, screen porches, or, gabled roofs.

3. Roofs

a. Main House

- i. minimum pitch: 7/12, 8/12 or steeper preferred
- ii. Porch and Accent Roofs minimum pitch: 4/12
- iii. Variances to the roof pitch minimums may be considered for special designs on a case by case basis in the sole discretion of the ARC.

b. Dormers: Required on one story and one and one half story homes.

- i. Roof Pitch Minimum: 8/12
- ii. Shed Roof Exception: 4/12
- iii. Variances to dormers may be considered for special designs on a case by case basis in the sole discretion of the ARC.

c. Shingles: Shingles are to be of asphalt/fiberglass, 30-year, architectural grade (240 lb) minimum. The roof may also be metal, wood shake or tile as approved by the ARC in its discretion on a case by case basis.

d. Flashing: All roof sheet metal work such as roof caps, flashings, vents and chimney caps must be painted to match the roof or must be copper.

e. Vents and stacks: All roof stacks and plumbing vents must be placed on rear slopes of roofs; provided, however, that for good cause shown, the Community Developer or the Architectural Review Committee may make exceptions as to the placement of such roof stacks and plumbing vents.

f. Solar panels. Pole or ground mounted solar panels are not permitted. Roof mounted solar panels are permissible provided the following:

- i. Panels must be integrated with the roof design and low-profile, mounted no more than 3" off the roof.
- ii. Panels may not be visible from the street at the front of the house with the exception of south-facing, side roofs on lots B1 through 6, B21 through 26, BV1 and 2; and BV20 through 25.

4. Garages

a. Each Home shall have at least one attached two-car garage, minimum dimension of 22' x 22', constructed at the same time as the Home, equipped with a garage door opener; and, space configured such that two standard size US made automobiles may be parked inside and the garage door closed.

b. Detached garages will be allowed only with written approval from the Community Developer or the Architectural Review Committee, provided however that otherwise detached garages connected to the Home by a covered breezeway of the same materials as the Home shall be considered "connected" for purposes of this Section.

c. No carports will be permitted.

d. All garages must have two single car garage doors a maximum of 10 feet in width. Brow View homes with the garage on the rear of the home may use a single double-width door. Door quality must be good--standard builder grade will not be accepted.

- e. No garage door of a home on a Brow Lot may face the street upon which the Home fronts, unless approved in writing by the ARC. If the garage door of a Brow Lot home is to face the street the garage door must be setback from the front façade of the house a minimum of 12 feet and provided with an auto court screened with a combination of garden walls or fencing with screen planting.
 - f. If garage doors on Brow View lots face the street, the garage door must be setback from the front façade of the house a minimum of 4 feet and provided with architectural detailing that causes the garage doors to visually recede.
 - g. Garage doors which face a neighboring property and are less than thirty (30) feet from the property line must be screened with garden walls, fencing, screen planting; or preferably, a combination thereof.
 - h. In keeping with Universal Design principals it is recommended that where possible the garage be located at the high side of the site to enable at-grade accessibility to the home from the garage. Easy access from the garage to the kitchen is encouraged.
 - i. The inside walls of garages must be finished.
 - j. Garage doors may not be allowed to stand open.
5. Entrance: Front entrances should be emphasized and clearly stand out on the front elevation without being overstated. Entrances that recede from the front façade such that it is difficult to see the front door from the street are unacceptable. Porches or a traditional “front stoop” that are covered with accent roofs are encouraged. Entry doors must be emphasized with architectural detail trim, sidelights or transoms.
6. Porches, Decks and Railings
- a. Front porches or stoops should be elevated from grade a maximum of 30” where accessibility is provided through the garage.
 - b. Porches and decks intended for seating should be a minimum of 8’-0” deep.
 - c. Porches and decks and each of the components thereof may be constructed from wood, brick, durable synthetic materials, or stone.
 - d. Concrete landings are permissible for secondary side entries not facing a street.
 - e. Decks shall not be constructed with more than one foot or more of exposed wood posts, rather support columns shall be constructed of masonry, stone, or brick.
 - f. Railings may be metal with a painted finish, wrought iron or wood. Face nailed wood pickets are not permissible.
7. Posts, Piers and Columns
- a. Acceptable materials for posts piers and columns are wood, brick, natural or manufactured stone, stucco over concrete or CMU; or, pre-manufactured fiberglass.
 - b. Posts, piers and columns should be topped with an entablature or beam and should never directly support a soffit.
 - c. At traditional column details the entablature/beam should be the same width as the column shaft and should never project beyond the column capital.
 - d. Posts must be a minimum of 6”x6” nominal where supporting spans of 10 feet or less; and, a minimum of 8”x8” nominal for spans over 10 feet.
8. Siding
- a. The foundation, basement and exterior retaining walls shall be faced with either brick, natural or cultured stone or stucco, continuous to below grade.
 - b. Exterior walls must be faced with wood, brick, natural or manufactured stone, stucco, fiber cement siding; or, a combination thereof.
 - c. Wood or fiber cement siding may be horizontal, vertical board and batten or shingle. All horizontal wood or fiber cement siding must have a 6” exposure or less with the exception of fiber cement beaded horizontal or shingle siding which may have up to a 7” exposure.
 - d. Vinyl, aluminum or masonite siding is not permitted.
 - e. All horizontal changes in siding material must occur at an inside corner.

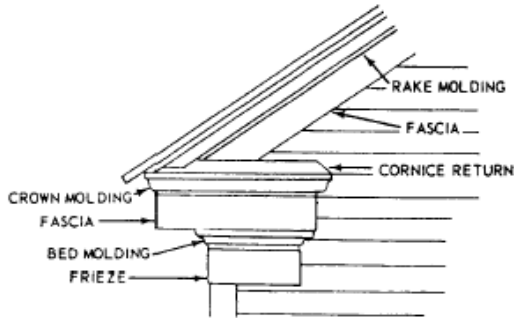
9. Eaves, Fascias, Soffits and Cornices
 - a. All exterior trim and soffit materials must be wood, fiber cement or a wood composite such as Miratec. Aluminum or vinyl trim or soffit is unacceptable.
 - b. Soffit, fascia and cornice details should be appropriate to the style but under no circumstances will a simple, boxed “pork chop” cornice return be acceptable. See Figure 2 – “Cornice Returns”
10. Gutters and Downspouts must be painted in approved colors or must be copper.
11. Exterior Windows, Shutters and Doors
 - a. Windows must be either aluminum clad or Andersen 200 vinyl clad wood. Andersen 100 Series or Pella Impervia windows may be used for homes built on Brow View lots provided that window grilles are between the glass—no snap-ins.
 - b. Front door must be wood. Aluminum clad wood or fiberglass doors acceptable elsewhere.
 - c. Windows must be true or simulated divided lite in Brow lot homes. Muntins in the glass are acceptable in Brow View and Woodland homes. Snap-ins are not acceptable.
 - d. Windows and individual lites are recommended to be vertically proportioned.
 - e. All mullions at ganged windows must be 1 3/4” wide or greater, not including the window frame or sash. Casing at windows and doors must be 3 1/2” reveal or greater at siding. Windows and doors in brick or stone must include a brickmold.
 - f. Shutters must be wood or solid PVC and appear to be operable with hinges and shutter-cocks. Shutters may be paneled, louvered or boarded to match the style of the house. Shutters must fit the width of the window being framed.
12. Colors – exterior colors should be of low-intensity with natural hues appropriate to a wooded setting. Stark white field colors are not permitted. White field colors must be antique white or warmer.
13. Chimneys shall be scaled appropriately to the size and style of the home and shall consist of brick, stone or stucco. Exposed metal flues are not permitted.



Pork Chop Cornice Return – Unacceptable



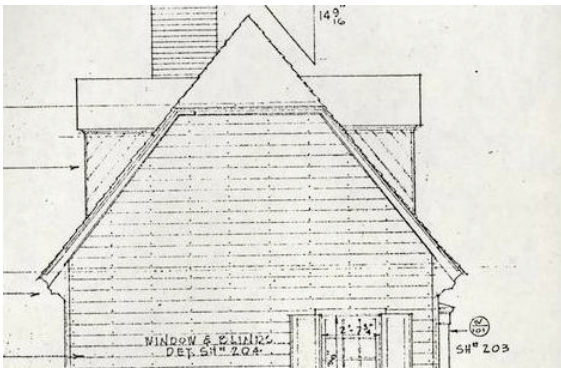
Pork Chop Cornice Return – Unacceptable



Greek Cornice Return – Acceptable



Greek Cornice Return – Acceptable



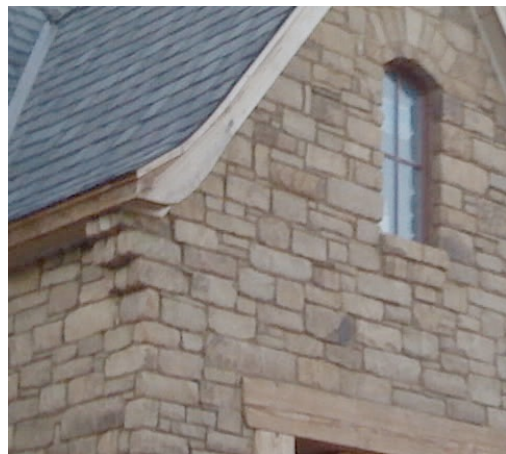
Colonial Cornice Return – Acceptable



Colonial Cornice Return – Acceptable



Pediment – Acceptable



Cornice Return – Acceptable

Figure 2 – Cornice Returns